PROPOSED ALTERATIONS & ADDITIONS
220 WYNYARD STREET, TUMUT NSW 2720

LOCATION MAP

IMAGE SOURCE: SIX MAPS NSW

SHEET LIST

01	TITLE PAGE
02	PROPOSED SITE PLAN
03	EXISTING & PROPOSED FLOOR PLAN
04	PROPOSED ELEVATIONS
05	SECTION A-A & VERANDAH DESIGN
06	BASIX COMMITMENTS

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TUMUT BUILDING DESIGN
Mel Tsarevich
0413 997 717
tumutbuildingdesign@outlook.com

Issue/Amendments	Date
1 - Issued for DA/CC	13.05.25
1 - Issued to client for approval	20.03.25

Project Name **PROPOSED ALTERATIONS & ADDITIONS**

Client **ALLAN & TRISH DAY**

Date	19.03.25	Issue	1
Scale	N.T.S	Plan & Sheet Number	DA03- 01
Sheet size	A3		
Drawn	M.T	Sheets in set	6

GENERAL NOTES:

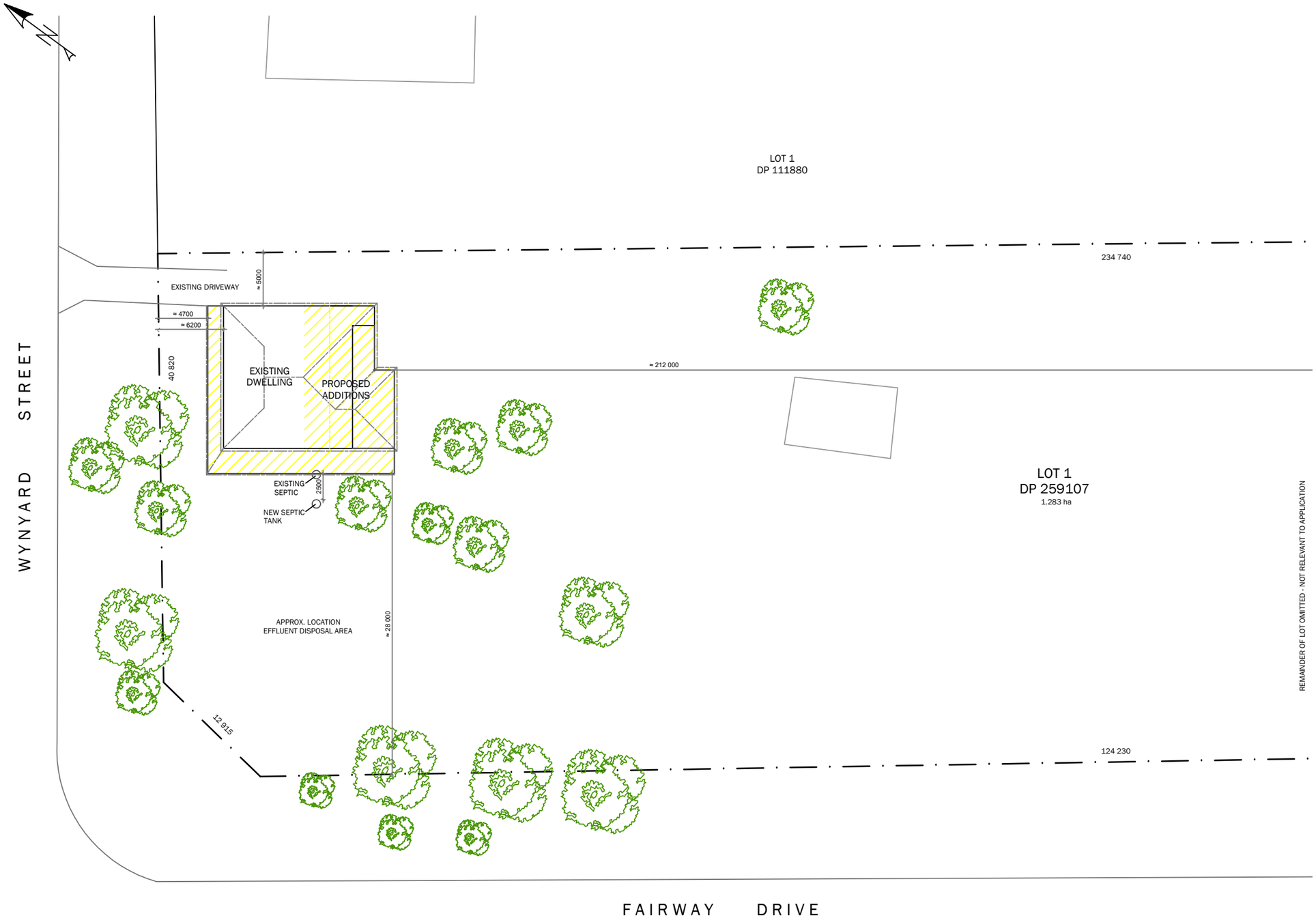
Builder to confirm location of services & all levels onsite prior to the commencement of any works.
Builder/contractors are to confirm all measurements on plan & any other detail with an onsite inspection prior to the commencement of any works or the ordering of materials/products.
Building design drawings are to be read in conjunction with the specifications and any applicable professional engineer plans.
Figured dimensions to take precedence over scale.

All works to comply with the National Construction Code Series (NCC) volume 2 & all relevant current Australian Standards.
All plumbing & drainage work to be in accordance with the National Plumbing & Drainage Code & AS3500.

IMPORTANT NOTE:

Boundaries shown here are depicted by remote sensing techniques. Site plan dimensions, contours & boundary setbacks to be confirmed onsite or by a registered surveyor prior to commencement of any works

PROPOSED WORKS



PROPOSED SITE PLAN

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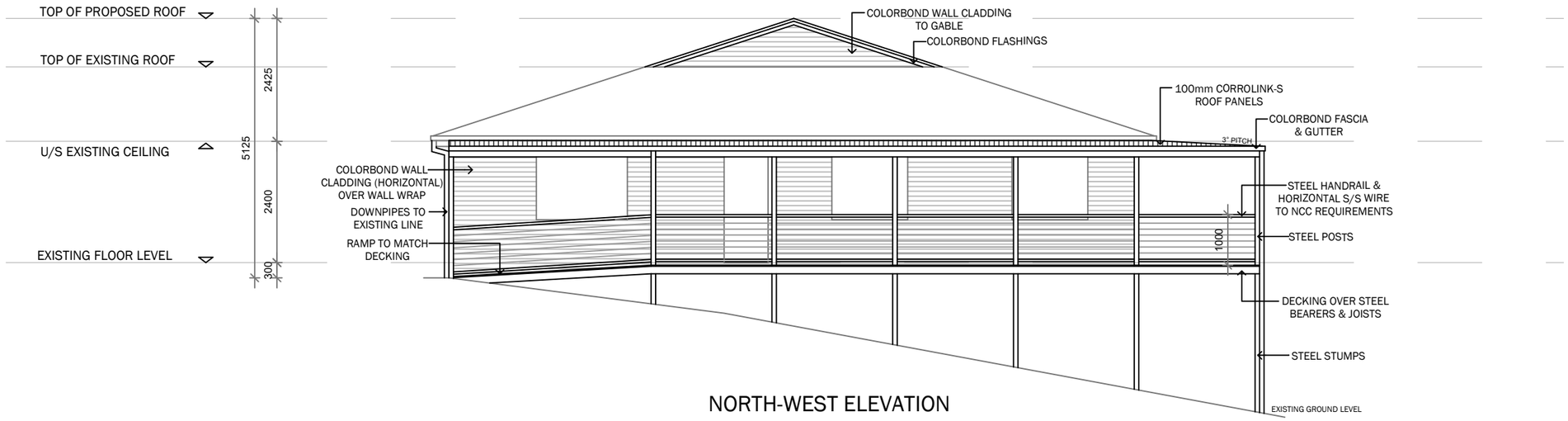
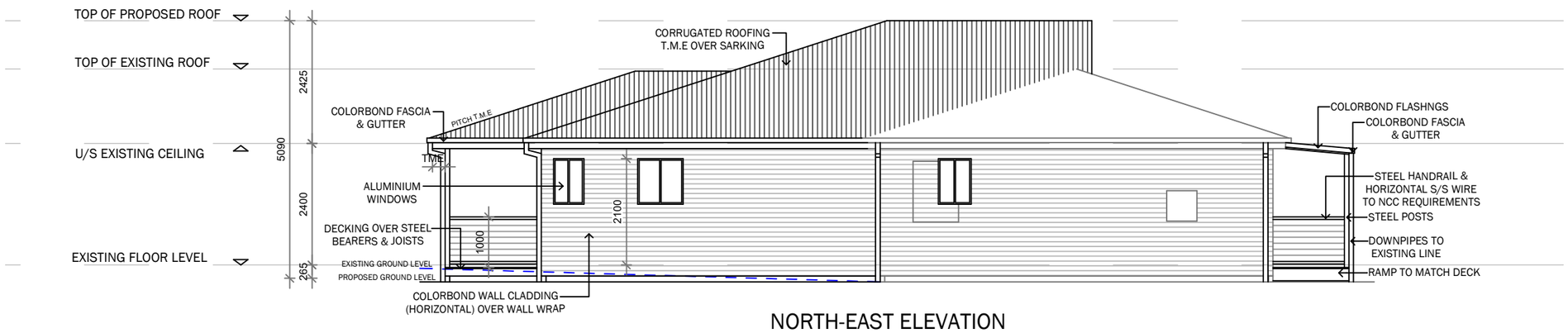
Address: 220 WYNYARD STREET, TUMUT

Date	20.03.25	Issue	1
Scale	1:400	Plan & Sheet Number	DA03- 02
Sheet size	A3		
Drawn	M.T	Sheets in set	6



NORTH-WEST ELEVATION

SOUTH-WEST ELEVATION



NORTH-EAST ELEVATION

ELEVATIONS

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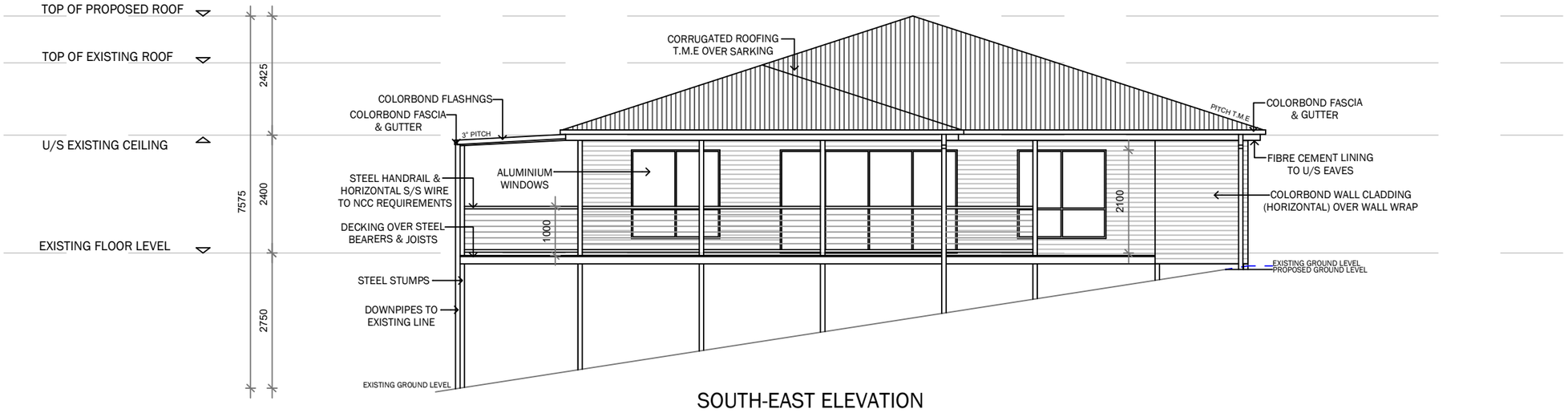
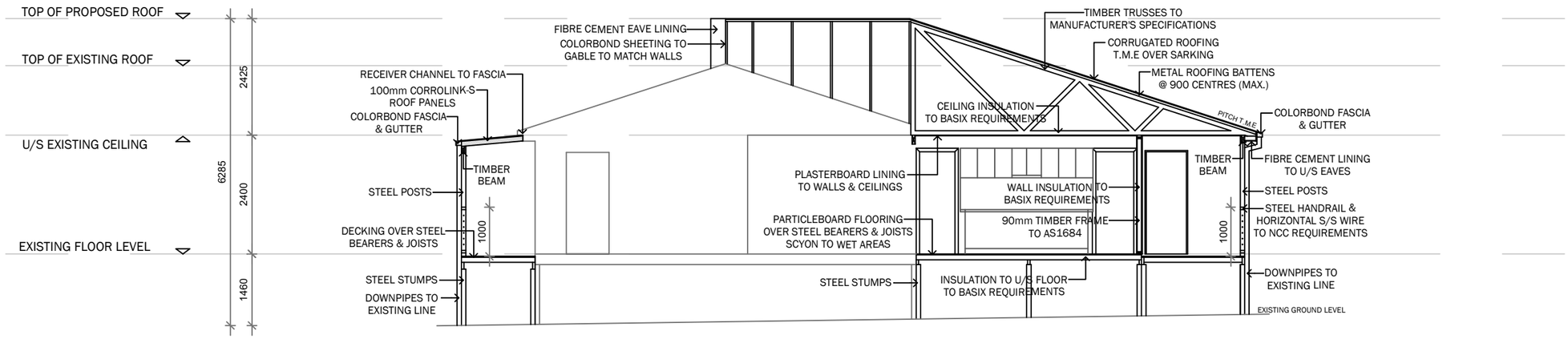
Date	20.03.25	Issue	1
Scale	1:100	Plan & Sheet Number	DA03- 04
Sheet size	A3		
Drawn	M.T	Sheets in set	6



SOUTH-EAST ELEVATION



SECTION A-A

Corrolink-S (1000) Span Table				
Wind Class in accordance with AS4055-2012	Panel Size	Maximum Single Span		
		Fully Enclosed Room	One Side Open	Two/Three Sides Open
N1 (W28N)	50mm	7515	6776	7515
	75mm	8958	8077	8958
	100mm	9343	8425	9343
	125mm	9742)	8785	9742
	150mm	10000 (10618*)	9574	10000 (10618*)
	180mm	10000 (11579*)	10000 (10441*)	10000 (11579*)
N2 (W33N)	50mm	6255	5672	6255
	75mm	7456	6761	7456
	100mm	7777	7052	7777
	125mm	8109	7353	8109
	150mm	8832	8014	8832
	180mm	9638	8739	9638

hySPAN solutions range

Verandah Beams

Table 17

hySPAN SECTION D x B (mm)	ROOF MASS kg/m²	ROOF LOAD WIDTH 'RLW' (m)							
		0.9	1.5	2.1	2.7	0.9	1.5	2.1	2.7
		MAXIMUM SINGLE SPAN (m)				MAXIMUM CONTINUOUS SPAN (m)			
130 x 45	10	3.9	3.3	2.9	2.8	4.2	4.1	3.5	3.0
	20	3.5	3.0	2.7	2.5	4.2	4.0	3.5	3.2
	40	2.9	2.5	2.3	2.1	3.9	3.3	2.9	2.7
	90	2.3	1.9	1.7	1.6	3.1	2.6	2.3	2.1
140 x 45	10	4.2	3.6	3.2	3.0	5.0	4.4	3.9	3.3
	20	3.8	3.2	2.9	2.7	4.9	4.3	3.9	3.5
	40	3.2	2.7	2.5	2.4	4.2	3.6	3.2	2.9
	90	2.5	2.1	1.8	1.7	3.3	2.8	2.5	2.3
150 x 45	10	4.3	3.8	3.4	3.1	5.2	4.9	4.1	3.4
	20	4.0	3.4	3.0	2.8	5.0	4.4	4.1	3.5
	40	3.3	2.8	2.6	2.4	4.3	3.8	3.4	3.1
	90	2.6	2.2	2.0	1.8	3.6	3.0	2.6	2.4
150 x 63	10	4.9	4.3	3.8	3.5	5.7	5.3	4.8	4.2
	20	4.3	3.8	3.4	3.0	5.4	4.8	4.4	4.1
	40	3.7	3.1	2.8	2.7	4.7	4.2	3.8	3.4
	90	2.9	2.5	2.2	2.0	3.9	3.3	3.0	2.7

SECTION A-A & VERANDAH DESIGN

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Address 220 WYNYARD STREET, TUMUT

Date	20.03.25	Issue	1
Scale	1:100	Plan & Sheet Number	DA03- 05
Sheet size	A3		
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BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Alterations and Additions

Certificate number: A1795122

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Tuesday, 13 May 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW GOVERNMENT

Project address	
Project name	Day alterations & additions
Street address	220 WYNYARD Street TUMUT 2720
Local Government Area	Snowy Valleys Council
Plan type and number	Deposited Plan DP259107
Lot number	1
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is $50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Tumut Building Design	
ABN (if applicable): 38563042935	

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✔	✔
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✔	✔
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✔	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✔	✔	✔

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7).	R1.8 (down) (or R2.50 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.80 (or R2.20 including construction)	
flat ceiling, pitched roof	ceiling: R4.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements			

Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
Ensuite	NE	0.54	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
Laundry	NE	0.81	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WC	NE	0.54	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
Kitchen	SE	3.24	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, clear/air gap/ clear, (U-value: 5.34, SHGC: 0.67)
Living	SE	7.56	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, clear/air gap/ clear, (U-value: 5.34, SHGC: 0.67)
Living	SE	3.24	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, clear/air gap/ clear, (U-value: 5.34, SHGC: 0.67)
Living	SW	7.56	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, clear/air gap/ clear, (U-value: 5.34, SHGC: 0.67)

BASIX COMMITMENTS

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